

REGULATORY STANDARDS

1. 2013 CALIFORNIA ADMINISTRATIVE CODE, PART 1
2. 2013 CALIFORNIA BUILDING CODE (CBC) PART 2
3. 2013 CALIFORNIA ELECTRICAL CODE (CEC) PART 3
4. 2013 CALIFORNIA MECHANICAL CODE (CMC) PART 4
5. 2013 CALIFORNIA PLUMBING CODE (CPC) PART 5
6. 2013 CALIFORNIA ENERGY CODE, PART 6
7. 2013 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE, PART 7
8. 2013 CALIFORNIA HISTORICAL BUILDING CODE, PART 8
9. 2013 CALIFORNIA FIRE CODE, PART 9
10. 2013 CALIFORNIA EXISTING BUILDING CODE, PART 10
11. 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART II
12. 2013 CALIFORNIA REFERENCE STANDARDS CODE, PART 12
13. TITLE 19, C.C.R., PUBLIC SAFETY, SFM REGULATIONS

JAMES LICK HIGH SCHOOL

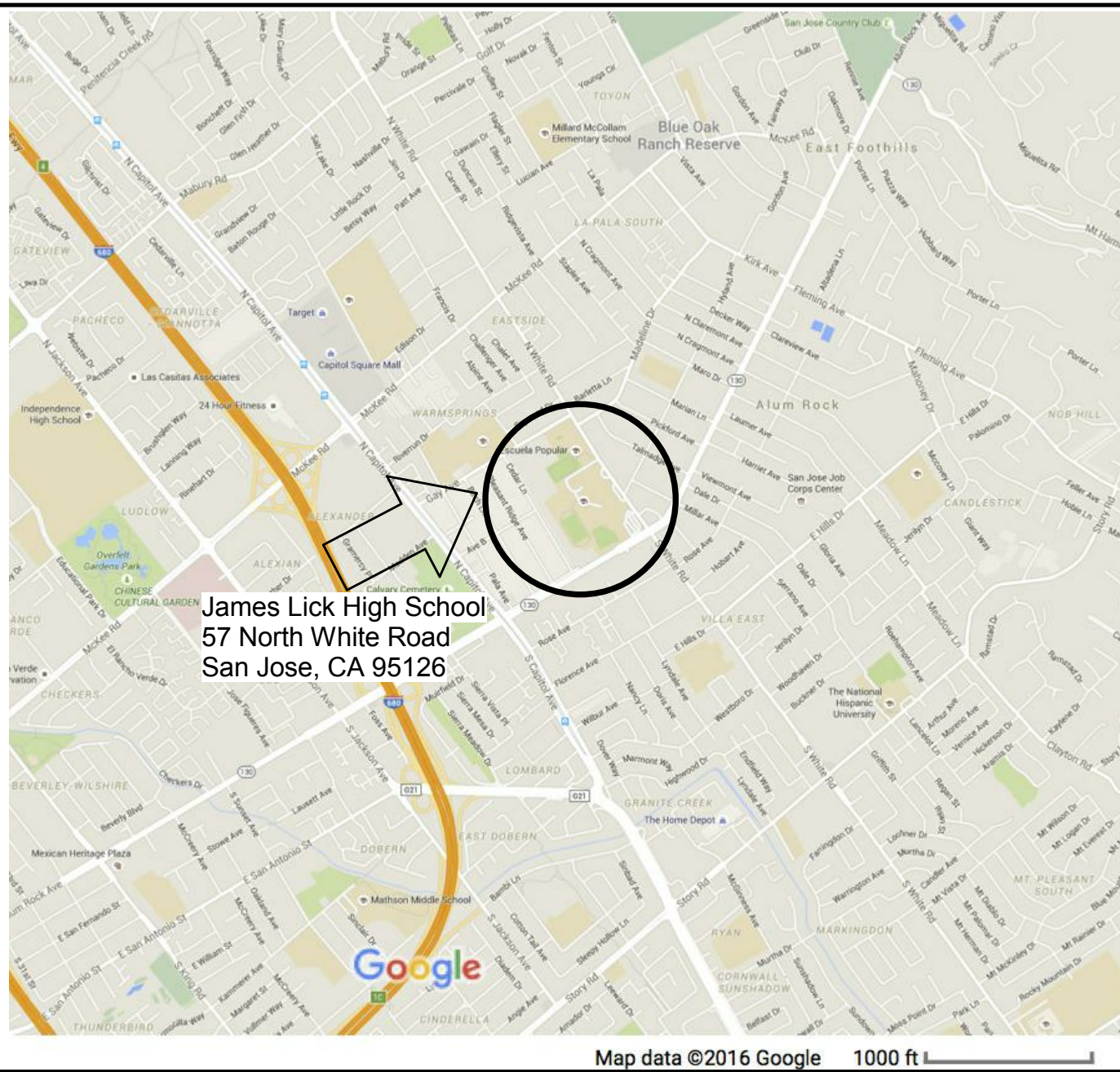
BUILDING 1200 NEW-TECH MATHEMATICS / PHYSICAL EDUCATION CLASSROOM

57 NORTH WHITE RD

SAN JOSE, CA 95127

BID SET

VICINITY MAP

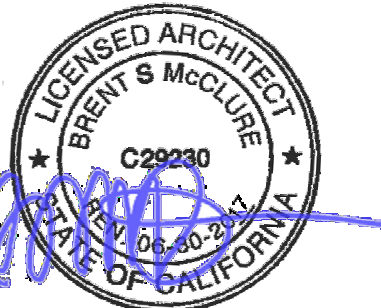


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ARCHITECTS

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NFPA STANDARDS

1. NFPA 24 – PRIVATE FIRE MAINS, 2010 EDITION.
2. NFPA 72 - (CALIFORNIA AMENDED) NATIONAL FIRE ALARM CODES, 2010 EDITION
3. NFPA 253 – CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEM, 2011 EDITION
4. NFPA 2001 – CLEAN AGENT FIRE EXTINGUISHING SYSTEMS, 2008 EDITION.
5. NFPA 10- PORTABLE FIRE EXTINGUISHERS, 2007 EDITION
6. NFPA 13- INSTALLATION OF SPRINKLER SYSTEMS, 2010 EDITION AND CA AMENDMENTS
7. NFPA 14- INSTALLATION OF STAND PIPE, PRIVATE HYDRANT AND HOSE SYSTEMS, 2007 EDITION
8. NFPA 20- INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION, 2003 EDITION
9. NFPA 22- WATER TANKS FOR PRIVATE FIRE PROTECTION, 2003 EDITION
10. NFPA 80- FIRE DOORS AND OTHER OPENING PROTECTIVES, 2007 EDITION
11. NFPA 110- EMERGENCY AND STANDBY POWER SYSTEMS, 2005 EDITION

ADDITIONAL ADMINISTRATIVE REQUIREMENTS

1. SECURE A PERMIT FROM THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT. DISTRICT REGULATION 11-2-403.1 REQUIRES THAT FOR EVERY RENOVATION INVOLVING THE REMOVAL OF 100 SQ. FT. / LIN. FT. OR GREATER OF REGULATED ASBESTOS CONTAINING MATERIAL, AND FOR EVERY DEMOLITION (EVEN WHEN NO ASBESTOS IS PRESENT), A NOTIFICATION MUST BE MADE TO THE BAAQMD AT LEAST 10 WORKING DAYS (EXCEPT IN SPECIAL CIRCUMSTANCE) PRIOR TO COMMENCEMENT OF DEMOLITION/RENOVATION.
2. A COPY OF PARTS 1 AND 2, TITLE 24, C.C.R. SHALL BE KEPT ON THE JOB SITE AT ALL TIMES.
3. ALL CHANGE ORDERS AND ADDENDA TO BE SIGNED BY THE ARCHITECT AND THE OWNER AND APPROVED BY DSA. CHANGE ORDERS ARE NOT VALID UNTIL APPROVED BY DSA PER SECTION 4-338, PART 1, TITLE 24.
4. ALL TESTS TO CONFORM TO THE REQUIREMENTS OF SECTION 4-335 PART 1, TITLE 24 AND APPROVED T & I SHEET.
5. TESTS OF MATERIALS AND TESTING LABORATORY SHALL BE IN ACCORDANCE WITH SECTION 4-335 OF PART 1, TITLE 24 AND THE DISTRICT SHALL EMPLOY AND PAY THE LABORATORY. COSTS OF RE-TEST MAY BE BACK CHANGED TO THE CONTRACTOR.
6. CONTRACTOR, INSPECTOR, ARCHITECT AND ENGINEERS SHALL SUBMIT VERIFIED REPORTS (FORM SSS-6) IN ACCORDANCE WITH SECTION 4-336 AND 4-343, PART 1, TITLE 24.
7. THE ARCHITECT AND STRUCTURAL ENGINEER SHALL PERFORM THEIR DUTIES IN ACCORDANCE WITH SECTION 4-333(a) AND 4-341, PART 1, TITLE 24
8. THE CONTRACTOR SHALL PERFORM HIS DUTIES IN ACCORDANCE WITH SECTION 4-343, PART 1, TITLE 24.
9. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO RECONSTRUCT THE SCHOOL BUILDING IN ACCORDANCE WITH TITLE 24, C.C.R. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID TITLE 24, C.C.R., A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OFFICE OF REGULATION SERVICES BEFORE PROCEEDING WITH THE WORK.

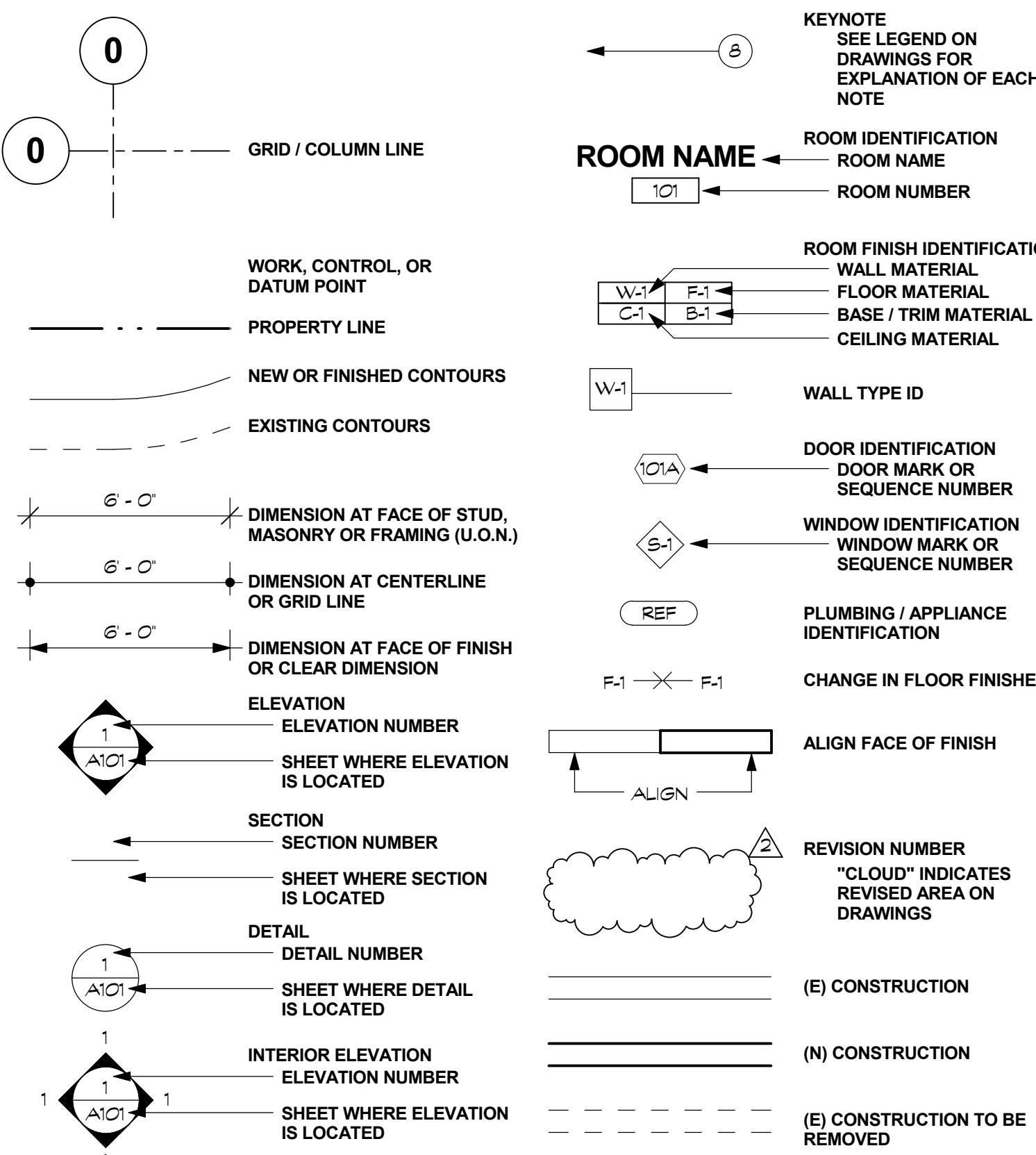
GENERAL NOTES

1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURE AND FOR ALL SAFETY PROGRAMS AND PRECAUTIONS IN CONNECTION WITH THE PROJECT. NEITHER THE OWNER NOR THE ARCHITECT IS RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW PROPER SAFETY PROCEDURES.
2. ALL CODES HAVING JURISDICTION ARE HEREBY MADE A PART OF THIS DOCUMENT AND ARE TO BE STRICTLY OBSERVED BY THE CONTRACTOR IN THE CONSTRUCTION OF THE PROJECT. IN THE EVENT OF CONFLICT BETWEEN THESE DOCUMENTS AND THE CODE, THE CODE SHALL PREVAIL. ANY CONFLICT OR DISCREPANCY SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
3. ALL WORK, TO BE ACCEPTABLE, MUST BE IN COMPLIANCE WITH THESE DRAWINGS AND SPECIFICATIONS, AND MUST BE OF A QUALITY EQUAL OR BETTER THAN THE STANDARD OF THE TRADE. FINISHED WORK SHALL BE FIRM, WELL-ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE.
4. CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER, RAIN, WINDSTORMS, OR HEAT SO AS TO MAINTAIN ALL WORK, MATERIALS, EQUIPMENT AND APPARATUS FREE FROM INJURY OR DAMAGE.
5. CONTRACTOR SHALL VISIT THE SITE OF THE PROJECT, EXAMINE FOR HIMSELF/HERSELF THE NATURE OF THE EXISTING CONDITIONS AND ALL OTHER CONDITIONS RELEVANT TO THE SATISFACTORY COMPLETION OF THE PROJECT. SUBMISSION OF A BID FOR CONSTRUCTION SHALL BE CONSIDERED EVIDENCE OF SUCH EXAMINATION BY THE CONTRACTOR.
6. CONTRACTOR SHALL REMOVE FROM SITE ALL EXISTING CONSTRUCTION AND IMPROVEMENTS NECESSARY FOR COMPLETION OF THE PROJECT, PROTECT FROM DAMAGE OR INJURY ALL EXISTING TREES, LANDSCAPING AND IMPROVEMENTS INDICATED BY THE ARCHITECT.
7. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE THE PROJECT MANUAL WITH SPECIFICATIONS, THE ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
8. ALL WORK NOTED "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY THE OWNER UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN CONSTRUCTION PROGRESS SCHEDULES AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
9. DO NOT SCALE DRAWINGS
10. COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR REFERENCE ONLY.
11. IN CASE OF CONFLICT OR DISCREPANCIES IN CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO PROCEEDING.
12. PRIOR TO BEGINNING WORK, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENSURE THAT ALL WORK IS BUILDABLE AS SHOWN. CONDITIONS THAT ARE NOT REFLECTIVE OF THAT WHICH IS SHOWN SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO COMMENCING CONSTRUCTION.
13. "TYPICAL" OR "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED (U.O.N.). DETAILS ARE USUALLY KEYED AND NOTED "TYP." ONLY ONCE, WHEN THEY FIRST APPEAR.
14. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE
15. "SIMILAR OR "SIM." MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
16. FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.
17. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.
18. SEE 'ABBREVIATIONS & SYMBOLS' ON THIS SHEET FOR GRAPHIC CONVENTIONS OF NEW VERSUS EXISTING CONSTRUCTION. IN ALL NOTES ON ALL DRAWINGS ALL WORK SHALL BE NEW WORK UNLESS SPECIFICALLY LABELED AS EXISTING (E).
19. CONTRACTOR TO PROVIDE BLOCKING AND/OR BACKING PLATES AT ALL WALL HUNG OR WALL BRACED DEVICES.
20. COORDINATE AND COOPERATE WITH OWNER REGARDING ACCESS ROUTE AND SCHEDULING OF MATERIAL DELIVERIES.
21. COORDINATE ALL WORK OCCURRING IN OCCUPIED AREAS WITH OWNER. SCHEDULE WORK AS REQUIRED.
22. SCHEDULE AND COORDINATE ACTIVITIES BY OWNER. ALL ACTIVITIES MUST BE ACCOMMODATED WITHIN THE CONTRACT TIME.
23. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN WITH THE BEST PRESENT KNOWLEDGE, WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ARCHITECT IN WRITING, SO THE PROPER REVISIONS CAN BE MADE.

ABBREVIATIONS

A	AND	N	NORTH
B	AT	(N) or NEW	NEW
O	DIAMETER or ROUND	N.I.C.	NOT IN CONTRACT
		NO. OR #	NUMBER
		N.T.S.	NOT TO SCALE
ACQUIS.	ACQUISITION	N	OVER
ADJ.	ADJUSTABLE	O.C.	ON CENTER
A.P.P.	ABOVE FINISHED FLOOR	O.D.	OUTSIDE DIAMETER
APPROX.	APPROXIMATE	O.P.	OPENING
ARCH.	ARCHITECTURAL	P.E.N.	PERFORATED
BLDG.	BUILDING	P.F.	POWER DRIVEN FASTENER
BLKG.	BLOCKING	P.D.	PLATE or PROPERTY LINE
BM.	BEAM	P.L.A.M.	PLASTIC LAMINATE
CAB.	CABINET	PLYWD.	PLYWOOD
C.J.	CONTROL JOINT	PREFAB.	PREFABRICATED
CLG.	CEILING	PTD.	PAINTED
CLG.	CLOSET	P.T.	PRESSURE TREATED
CLR.	CLEAR	R	RISER
C.M.U.	CONCRETE MASONRY UNIT	RAD.	RADIUS
C.O.	CLEANOUT or CASED OPENING	R.D.	ROOF DRAIN
COL.	COLUMN	R.F.	REFERENCE
CONC.	CONCRETE	REINF.	REINFORCE
C.T.	COLLAR TIE	R.O.	ROUGH OPENING
C.W.	COLD WATER	RWD.	RAIN WATER LEADER
		R.W.L.	RAIN WATER LEADER
DBL.	DOUBLE	S.A.S.	SURFACED 4 SIDES
DEPT.	DEPARTMENT	S.C.	SOLID CORE
DET.	DETAIL	S.D.	SCHEDULE
D.F.	DOUGLAS FIR or DRINKING FOUNTAIN	S.D.	SOAP DISPENSER or SMOKE DETECTOR
DIA.	DIAMETER	SEL.	SELECT
DN.	DOWN	SHT.	SHEET
DN.	DOWNSPOUT	SIM.	SIMILAR
DW.	DISHWASHER	SPEC.	SPECIFICATIONS(S)
DWG.	DRAWING	SQ.	SQUARE
EA.	EACH	S.S.T.	STAINLESS STEEL
E.J.	EXPANSION JOINT	S.S.D.	SEE STRUCTURAL DRAWINGS
ELEC.	ELECTRICAL	STD.	STANDARD
ENCL.	ENCLOSURE	STL.	STEEL
E.O.S.	EDGE OF SLAB	STOR.	STORAGE
E.Q.	EQUAL	STRUC./STRL.	STRUCTURAL
EQUIP./EQUIP.	EQUIPMENT	SUSP.	SUSPEND
EXIST OR (E)	EXISTING	SYM.	SYMMETRIC
FRT.	FIRE RETARDANT TREATED	T.B.S.	TOP AND BOTTOM
GYP. BD./GYP.	GYPSUM BOARD / GYPSUM	T&G.	TONGUE AND GROOVE
G.S.M.	GALVANIZED SHEET METAL	TEL.	TELEPHONE
H.B.	HOSE BIB	THRU	THROUGH
H.C.	HOLLOW CORE	T.O.C.	TOP OF CURB
H.W.	HARDWARE	T.O.P./T.P.	TOP OF PAVEMENT
H.M.	HOLLOW METAL	T.O.W.	TOP OF WALL
HORIZ.	HORIZONTAL	T.P.H.	TOILET PAPER HOLDER
HT./HOT.	HEIGHT	T.P.D.	TOILET PAPER DISPENSER
HTR.	HEATER	TV.	TELEVISION
H.W.	HOT WATER	TYP.	TYPICAL
H.W.D.	HARDWOOD	U.L.	UNDERWRITERS LABORATORIES
I.D.	INSIDE DIAMETER (DIM.)	U.O.N.	UNLESS OTHERWISE NOTED
IN. OR (")	INCH OR INCHES	VERT.	VERTICAL
INSUL.	INSULATION	VERIFY IN FIELD	VERIFY IN FIELD
INT.	INTERIOR	V.G.	VERTICAL GRAIN
JAN.	JANITOR	W/	WITH
JST.	JOIST	W/O.	WITHOUT
KIT.	KITCHEN	W.C.	WATER CLOSET
LAM.	LAMINATE	WD.	WOOD
LAV.	LAVATORY	W.H.	WATER HEATER
MAX.	MAXIMUM	WP.	WATERPROOF
MECH.	MECHANICAL	W.W.F.	WELDED WIRE FABRIC
MEZZ.	MEZZANINE		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MTL./MET.	METAL		

SYMBOLS



PROJECT SUMMARY

PROJECT DESCRIPTION:	MINOR MODERNIZATION TO (E) CLASSROOM TO CREATE A NEW-TECH MATHEMATICS / PHYSICAL EDUCATION CLASSROOM. WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: MINOR CABINETRY DEMOLITION AND PAINTING.
OCCUPANCY GROUP(S):	E
CONSTRUCTION TYPE:	V-B
NUMBER OF STORIES:	ONE

PROJECT DIRECTORY

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INDEX

ARCHITECTURAL
A0.0 COVER SHEET
A1.0 PLANS & FINISH SCHEDULE
A4.0 INTERIOR ELEVATIONS

DATE	REVISION
08/15/2016	1
08/19/2016	2
08/19/2016	3

PROJECT NAME

JAMES LICK HIGH SCHOOL

BUILDING 1200 NEW-TECH MATHEMATICS / PHYSICAL EDUCATION CLASSROOM

JAMES LICK HIGH SCHOOL

57 NORTH WHITE RD

SAN JOSE, CA 95127

SHEET TITLE

COVER SHEET

PROJECT NO. 15013

DRAWN BY K LANGE

CHECKED BY B MCCLURE

SHEET

A0.0

FINISH SCHEDULE						
MARK	SURFACE / FINISH	LOCATION	PRODUCT / MATERIAL	MAKE / MODEL	ASSEMBLY SYSTEM	REMARKS
FLOORING						
F-1	FLOORING	THROUGHOUT	EXISTING CONCRETE TO REMAIN.			CLEAN AFTER MAT REMOVAL.
BASE						
B-1	BASE	THROUGHOUT	RUBBER BASE	4" TOPSET RUBBER BASE. COL. BURKE MERCER. COLOR: BLACK		
WALLS						
W-1	DRYWALL AND PLASTER SURFACES THROUGHOUT	THROUGHOUT	EXISTING TO REMAIN. REPAINT	DUNN EDWARDS. PAINT COLOR: DET 673 MISSION WHITE.	PREP SURFACE PER SPECIFICATION. ONE COAT PRIMER AND TWO FINISH COATS.	
W-2	DRYWALL AND PLASTER SURFACES THROUGHOUT	THROUGHOUT	EXISTING TO REMAIN. REPAINT	DUNN EDWARDS. PAINT COLOR: EVSHEO FOREST GREEN	PREP SURFACE PER SPECIFICATION. ONE COAT PRIMER AND TWO FINISH COATS.	
CEILING						
C-1	ACOUSTICAL GLUE-ON CEILING TILE	THROUGHOUT	EXISTING TO REMAIN. REPAINT	DUNN EDWARDS. PAINT COLOR: DET 673 MISSION WHITE.	PREP SURFACE PER SPECIFICATION. ONE COAT PRIMER AND TWO FINISH COATS.	PAINT ACOUSTICAL TILE FINISH.
MISCELLANEOUS						
-	WINDOW FRAME AND STEEL MESH	THROUGHOUT	EXISTING TO REMAIN. REPAINT	DUNN EDWARDS. PAINT COLOR: DET 673 MISSION WHITE.	PREP SURFACE PER SPECIFICATION. ONE COAT PRIMER AND TWO FINISH COATS.	
-	LIGHT FIXTURES	THROUGHOUT	CHANGE LIGHT TUBES AND LENSES. EXISTING HOUSING TO REMAIN	LINMORE LED LIGHT TUBES: LL-T8-4-2-ED-F-41K AND LL-DR-35W-T2-DIM	(2) 4'-0" TUBES WITH 36 WATT DRIVER	REPLACE MISSING OR BROKEN HOUSING WHERE OCCURS.

GENERAL NOTES - FLOOR PLAN & RCP

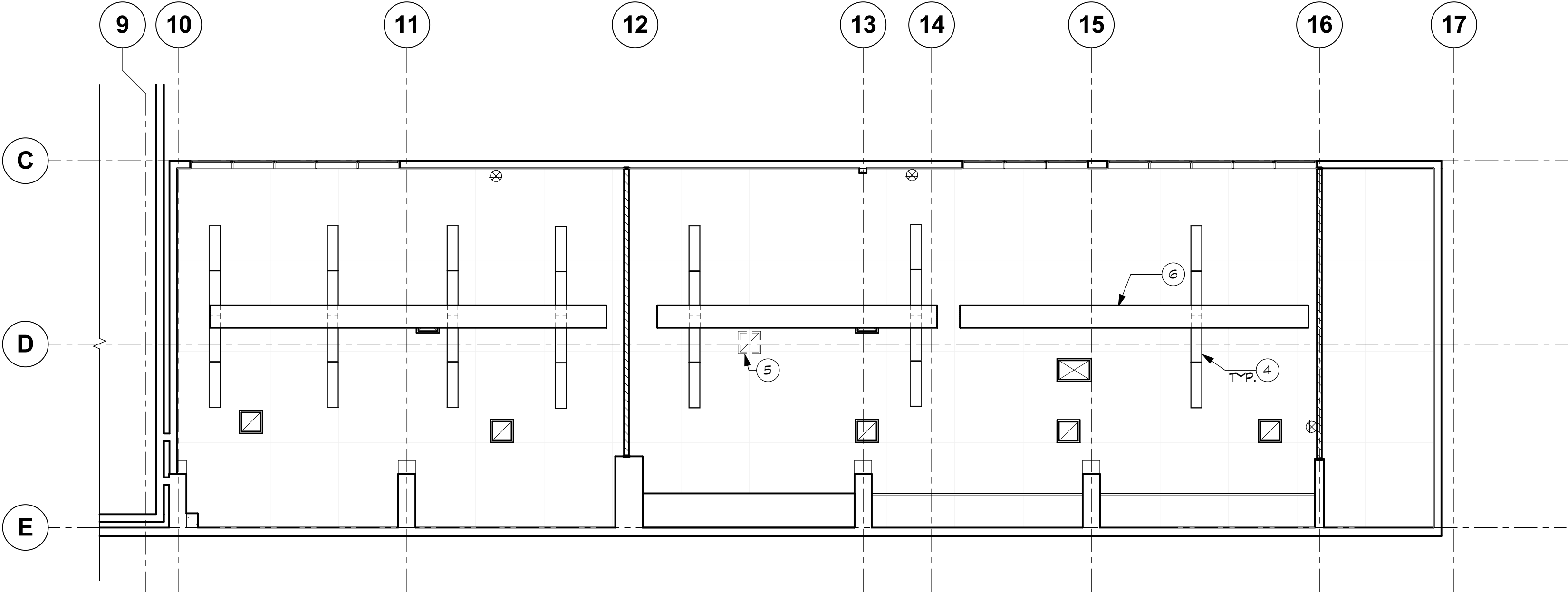
- PROGRAM OF TWO EXISTING ROOMS TO BE REVERSED. ROOM 36 TO BECOME WEIGHT ROOM, AND ROOM 35 TO BECOME WRESTLING ROOM.
- CONTRACTOR SHALL PAINT (E) UTILITIES, PIPING, CONDUIT, OR WIRING, TYPICAL THROUGHOUT.
- SEE INTERIOR ELEVATIONS FOR MORE INFORMATION ON PAINT AREAS, WALL SURFACES, AND WHITEBOARDS.
- MECHANICAL, ELECTRICAL, PLUMBING, TELECOM, AND FIRE ALARM SYSTEMS SHALL REMAIN FUNCTIONAL & BE PROTECTED DURING CONSTRUCTION.
- PROVIDE MATERIAL FINISHES ON ALL SURFACES AS NOTED ON FINISH SCHEDULE AND THROUGHOUT THESE DRAWINGS.
- REPAIRED & NEW GYPSUM BOARD FINISH SHALL ALIGNED WITH EXISTING ADJACENT CONSTRUCTION TO RESULT IN FLUSH FINISHES, TYPICAL THROUGHOUT.
- CLEAN AND PAINT ROOF VENTS.
- PATCH AND REPAIR ALL EXISTING WALL SURFACES TO REMAIN ADJACENT AREAS OF DEMOLITION.

LEGEND - FLOOR PLAN & RCP

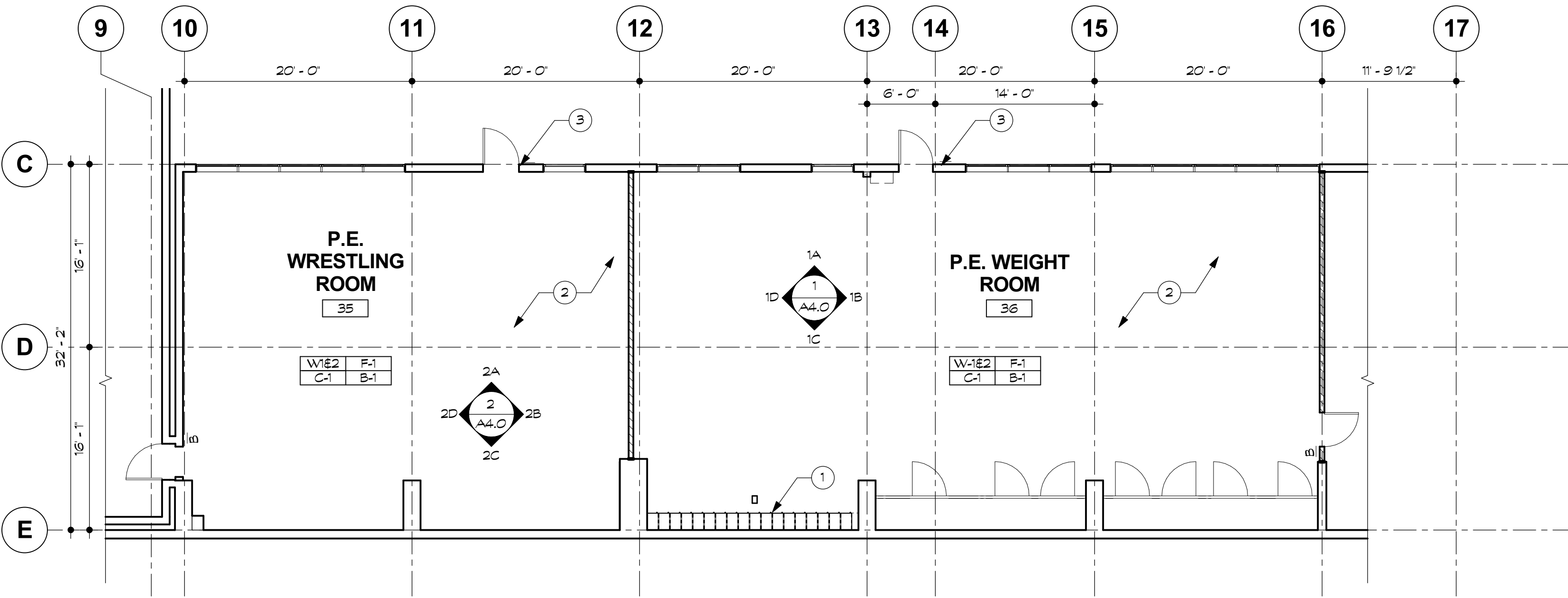
(E) WALL OR PARTITION TO REMAIN

KEYNOTES - FLOOR PLAN & RCP

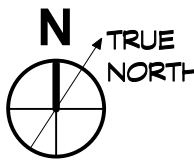
- REMOVE (E) LOCKERS. REPAIR AND PAINT WALL BEHIND.
- REMOVE (E) FLOOR MAT. CLEAN FLOOR BELOW.
- REMOVE (E) SIGNAGE AND REINSTALL SIGNAGE AT THE NEW LOCATION, ABOVE ENTRY DOOR.
- REPLACE (E) LIGHT FIXTURES WITH LED. SEE FINISH SCHEDULE.
- REPLACE (E) BROKEN HVAC REGISTER AT GRAVITY VENT. PAINT TO MATCH CEILING.
- (E) SUSPENDED DUCTWORK TO REMAIN. PRIME AND PAINT.



2 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



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STAMP



CONSULTANTS

MILESTONE	DATE
DD SET	08/15/2016
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PROJECT NAME

JAMES LICK HIGH SCHOOL
BUILDING 1200 NEW-TECH
MATHEMATICS / PHYSICAL
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57 NORTH WHITE RD

SAN JOSE, CA 95127

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PLANS & FINISH SCHEDULE

PROJECT NO. 15013

DRAWN BY K LANGE

CHECKED BY B MCCLURE

SHEET

A1.0

